



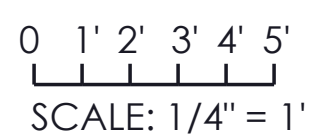
DESIGN CRITERIA

SOIL: 1500 psf
 SNOW: 25 psf
 ROOF LIVE LOAD: 20 psf
 FLOOR LOADS: 40 psf
 DECK LOADS: 60 psf
 FLOOR LIVE LOAD: 40 psf
 DESIGN WIND SPEED, 3-SECOND GUST: 110 mph
 WIND EXPOSURE CATEGORY: B
 WIND CALCULATION METHOD: 2015SBC, ASCE 7-10
 WIND SPEED UP FACTOR (Kzt): 1.0
 SEISMIC ANALYSIS PROCEDURE USED: 2012SBC, ASCE 7-10
 SEISMIC DESIGN CATEGORY: D
 SITE CLASS: D

- NOTES:
1. CONCRETE MIN. STRENGTH 2500 PSI
 2. ALL GLB SHALL HAVE A MODULUS OF ELASTICITY OF 1800psi OR GREATER
 3. ALL GLB SHALL HAVE A MINIMUM Fd OF 1850 PSI.
 4. ALL TIMBER SHALL BE HF2 OR BETER UNLESS OTHERWISE SPECIFIED.
 5. ALL TIMBER SHALL BE PRESURE TREATED WHERE WITHIN 6" OF GROUND.
 6. CODES REFERENCED: 2015 IBC, 2015 IRC.

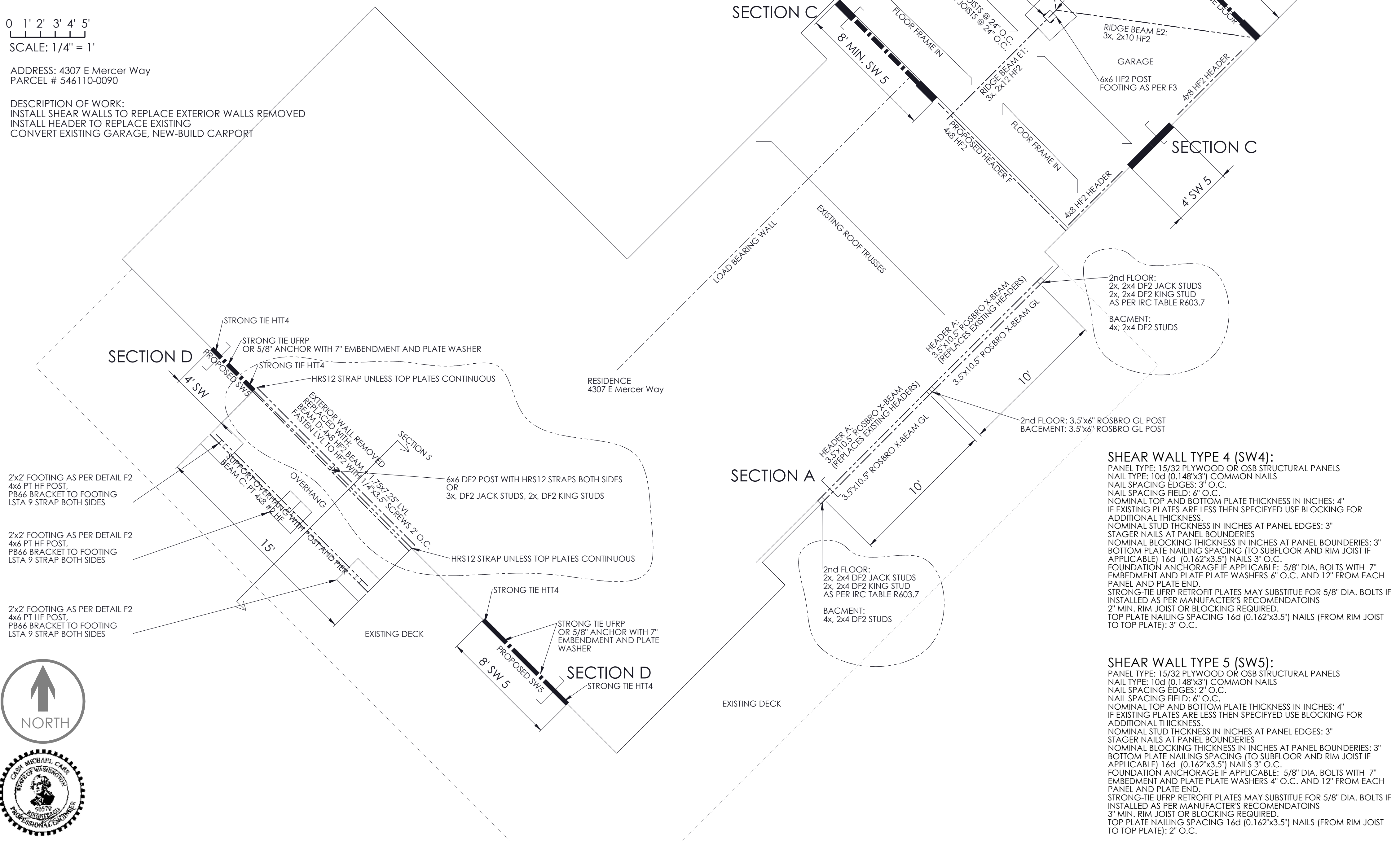
ENGINEERING PLAN

DRAWN BY: CASH M. CARR
 DATE: 5/25/2019
 PAGE NUMBER: 1



ADDRESS: 4307 E Mercer Way
 PARCEL # 546110-0090

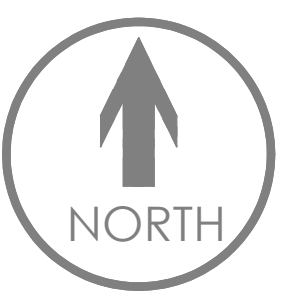
DESCRIPTION OF WORK:
 INSTALL SHEAR WALLS TO REPLACE EXTERIOR WALLS REMOVED
 INSTALL HEADER TO REPLACE EXISTING
 CONVERT EXISTING GARAGE, NEW-BUILD CARPORT



2'x2' FOOTING AS PER DETAIL F2
 4x6 PT HF POST,
 PB66 BRACKET TO FOOTING
 LSTA 9 STRAP BOTH SIDES

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 4x6 PT HF POST,
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SHEAR WALL TYPE 4 (SW4):
 PANEL TYPE: 15/32 PLYWOOD OR OSB STRUCTURAL PANELS
 NAIL TYPE: 10d (0.148"x3") COMMON NAILS
 NAIL SPACING EDGES: 3" O.C.
 NAIL SPACING FIELD: 6" O.C.
 NOMINAL TOP AND BOTTOM PLATE THICKNESS IN INCHES: 4"
 IF EXISTING PLATES ARE LESS THEN SPECIFIED USE BLOCKING FOR ADDITIONAL THICKNESS.
 NOMINAL STUD THCKNESS IN INCHES AT PANEL EDGES: 3"
 STAGER NAILS AT PANEL BOUNDARIES
 NOMINAL BLOCKING THICKNESS IN INCHES AT PANEL BOUNDARIES: 3"
 BOTTOM PLATE NAILING SPACING (TO SUBFLOOR AND RIM JOIST IF APPLICABLE) 16d (0.162"x3.5") NAILS 3" O.C.
 FOUNDATION ANCHORAGE IF APPLICABLE: 5/8" DIA. BOLTS WITH 7" EMBEDMENT AND PLATE PLATE WASHERS 6" O.C. AND 12" FROM EACH PANEL AND PLATE END.
 STRONG-TIE UFRP RETROFIT PLATES MAY SUBSTITUTE FOR 5/8" DIA. BOLTS IF INSTALLED AS PER MANUFACTURER'S RECOMENDATOINS
 2" MIN. RIM JOIST OR BLOCKING REQUIRED.
 TOP PLATE NAILING SPACING 16d (0.162"x3.5") NAILS (FROM RIM JOIST TO TOP PLATE): 3" O.C.

SHEAR WALL TYPE 5 (SW5):
 PANEL TYPE: 15/32 PLYWOOD OR OSB STRUCTURAL PANELS
 NAIL TYPE: 10d (0.148"x3") COMMON NAILS
 NAIL SPACING EDGES: 2" O.C.
 NAIL SPACING FIELD: 6" O.C.
 NOMINAL TOP AND BOTTOM PLATE THICKNESS IN INCHES: 4"
 IF EXISTING PLATES ARE LESS THEN SPECIFIED USE BLOCKING FOR ADDITIONAL THICKNESS.
 NOMINAL STUD THCKNESS IN INCHES AT PANEL EDGES: 3"
 STAGER NAILS AT PANEL BOUNDARIES
 NOMINAL BLOCKING THICKNESS IN INCHES AT PANEL BOUNDARIES: 3"
 BOTTOM PLATE NAILING SPACING (TO SUBFLOOR AND RIM JOIST IF APPLICABLE) 16d (0.162"x3.5") NAILS 3" O.C.
 FOUNDATION ANCHORAGE IF APPLICABLE: 5/8" DIA. BOLTS WITH 7" EMBEDMENT AND PLATE PLATE WASHERS 4" O.C. AND 12" FROM EACH PANEL AND PLATE END.
 STRONG-TIE UFRP RETROFIT PLATES MAY SUBSTITUTE FOR 5/8" DIA. BOLTS IF INSTALLED AS PER MANUFACTURER'S RECOMENDATOINS
 3" MIN. RIM JOIST OR BLOCKING REQUIRED.
 TOP PLATE NAILING SPACING 16d (0.162"x3.5") NAILS (FROM RIM JOIST TO TOP PLATE): 2" O.C.



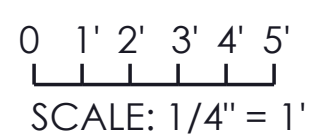
NOTE:

CARPORT PLAN

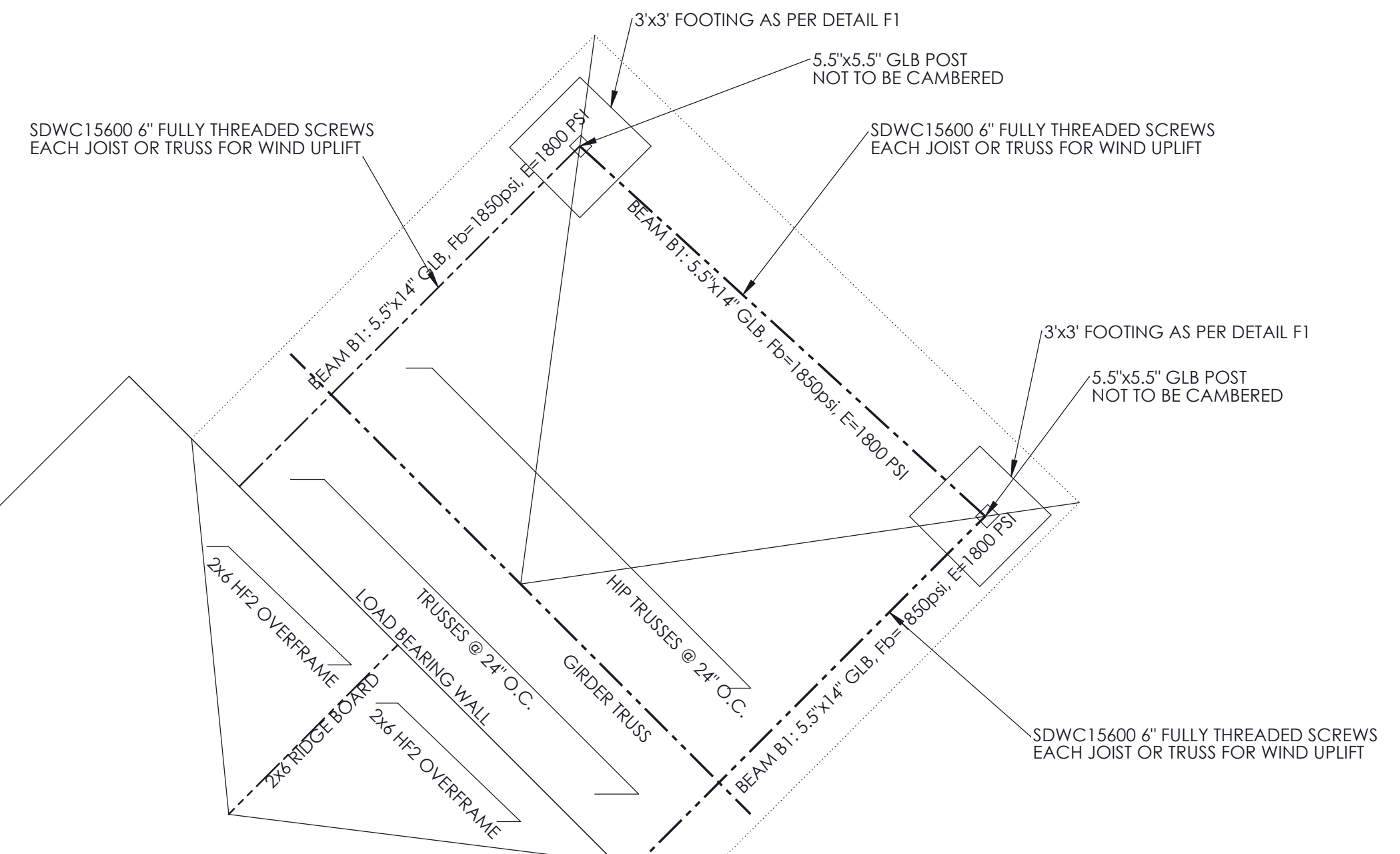
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NOTE: TRUSSES TO BE DESIGNED BY MANUFATERER





RETROFIT SHEAR WALL DETAIL

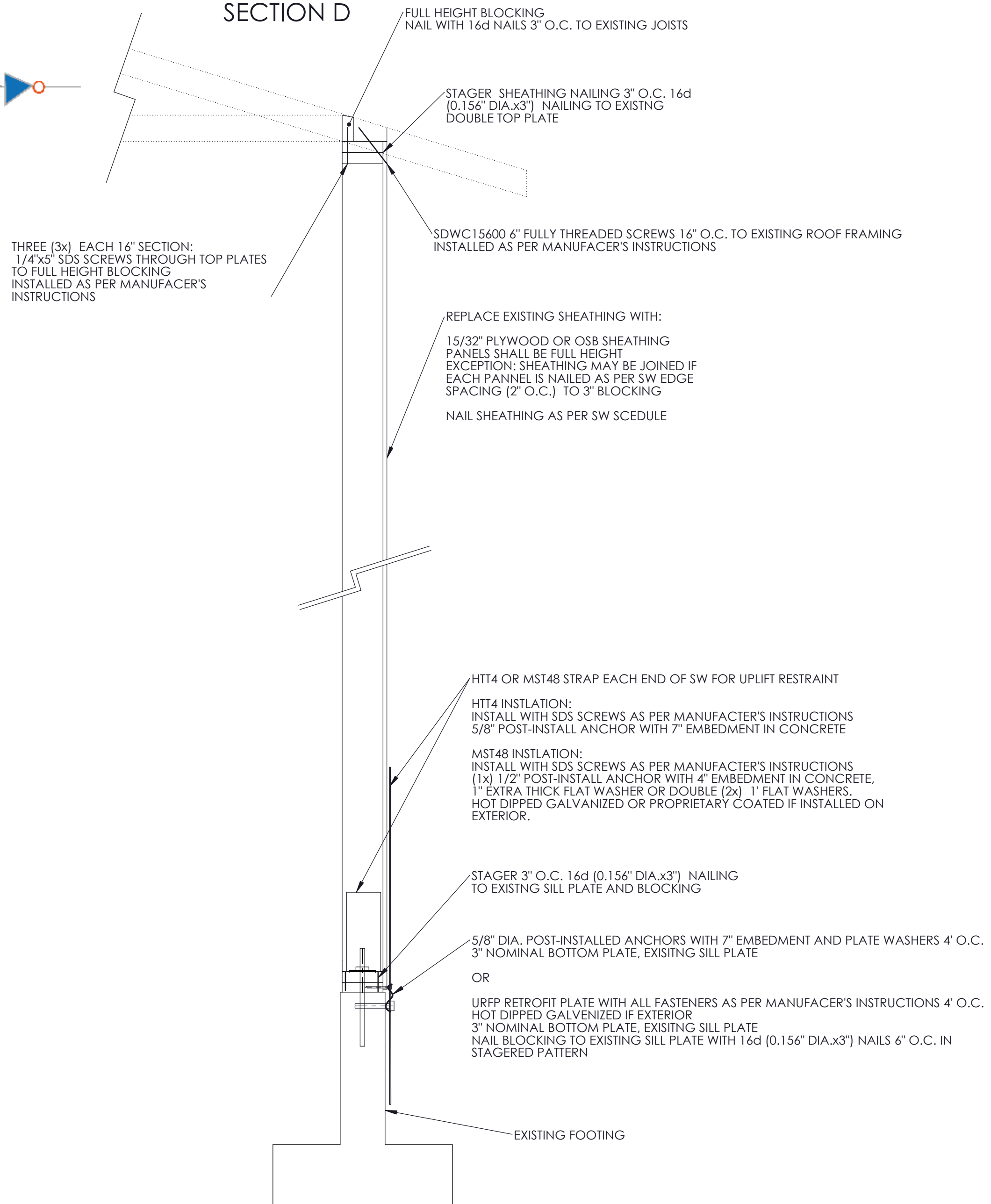
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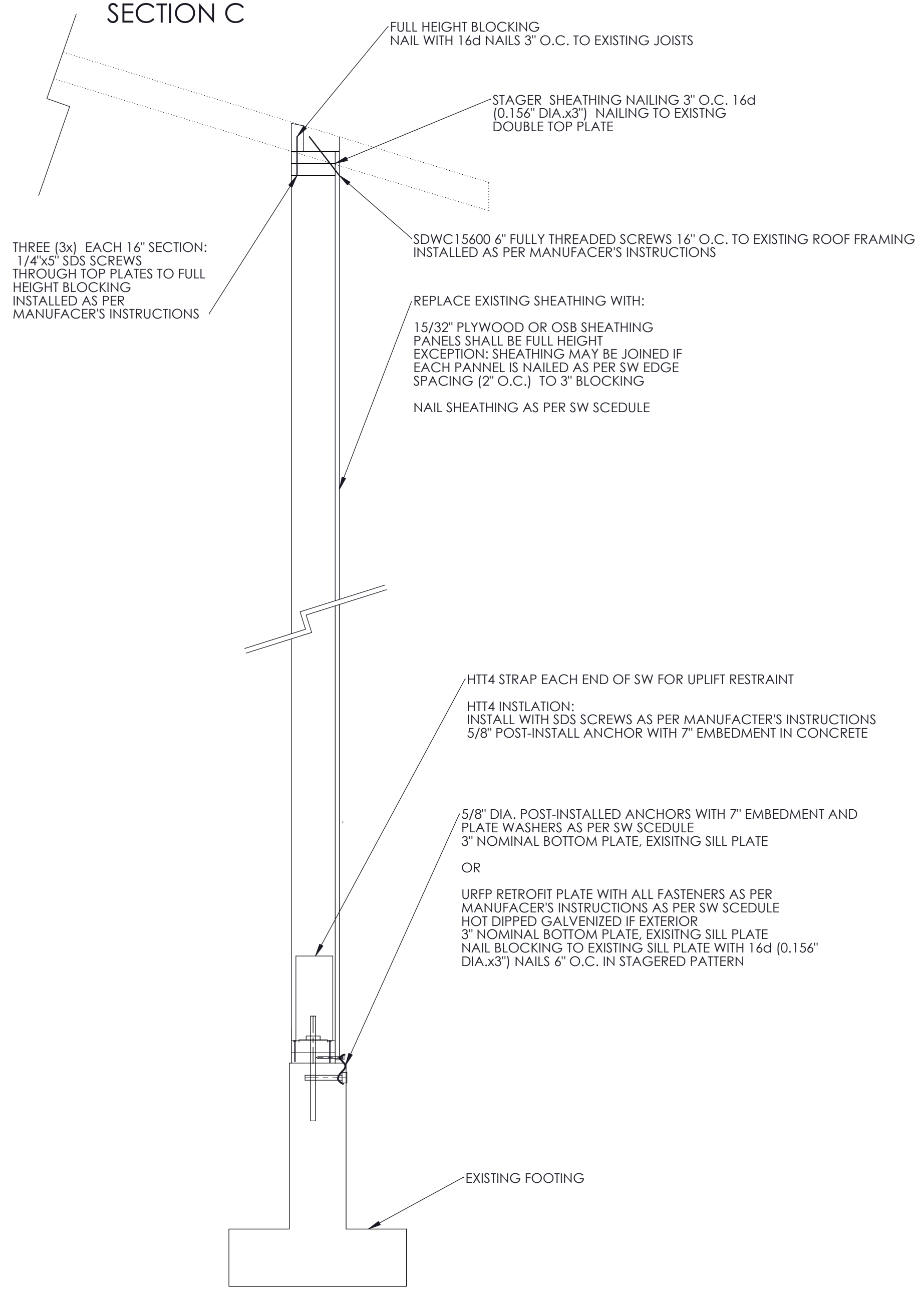
SOUTH SW RETROFIT

SECTION D



GARAGE SW RETROFIT

SECTION C



SCALE: 1" = 1'

GARAGE FRAME-IN SW RETROFIT

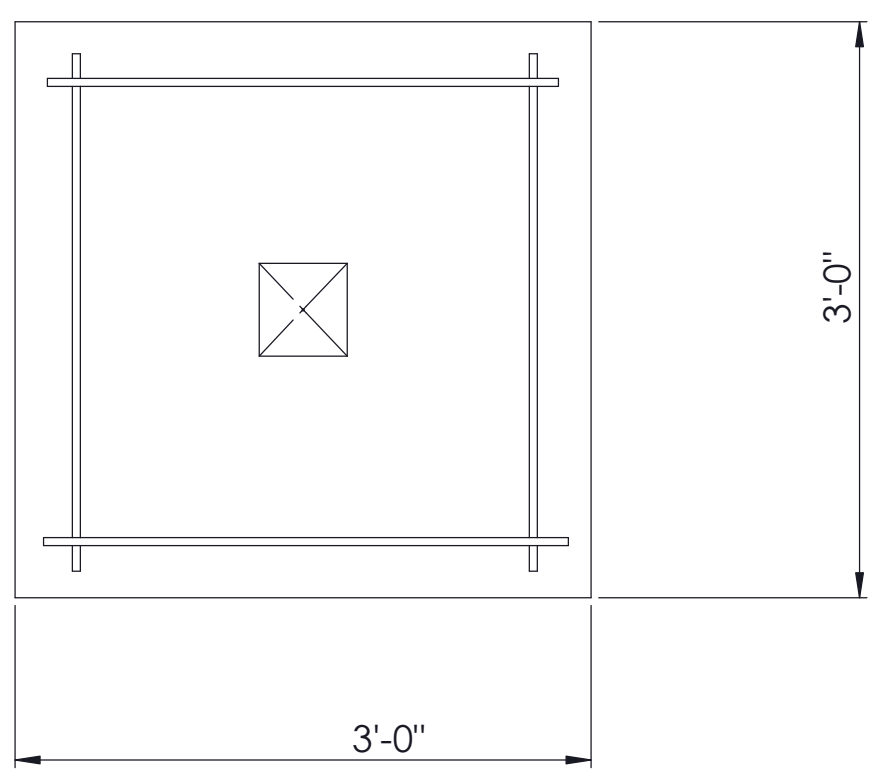
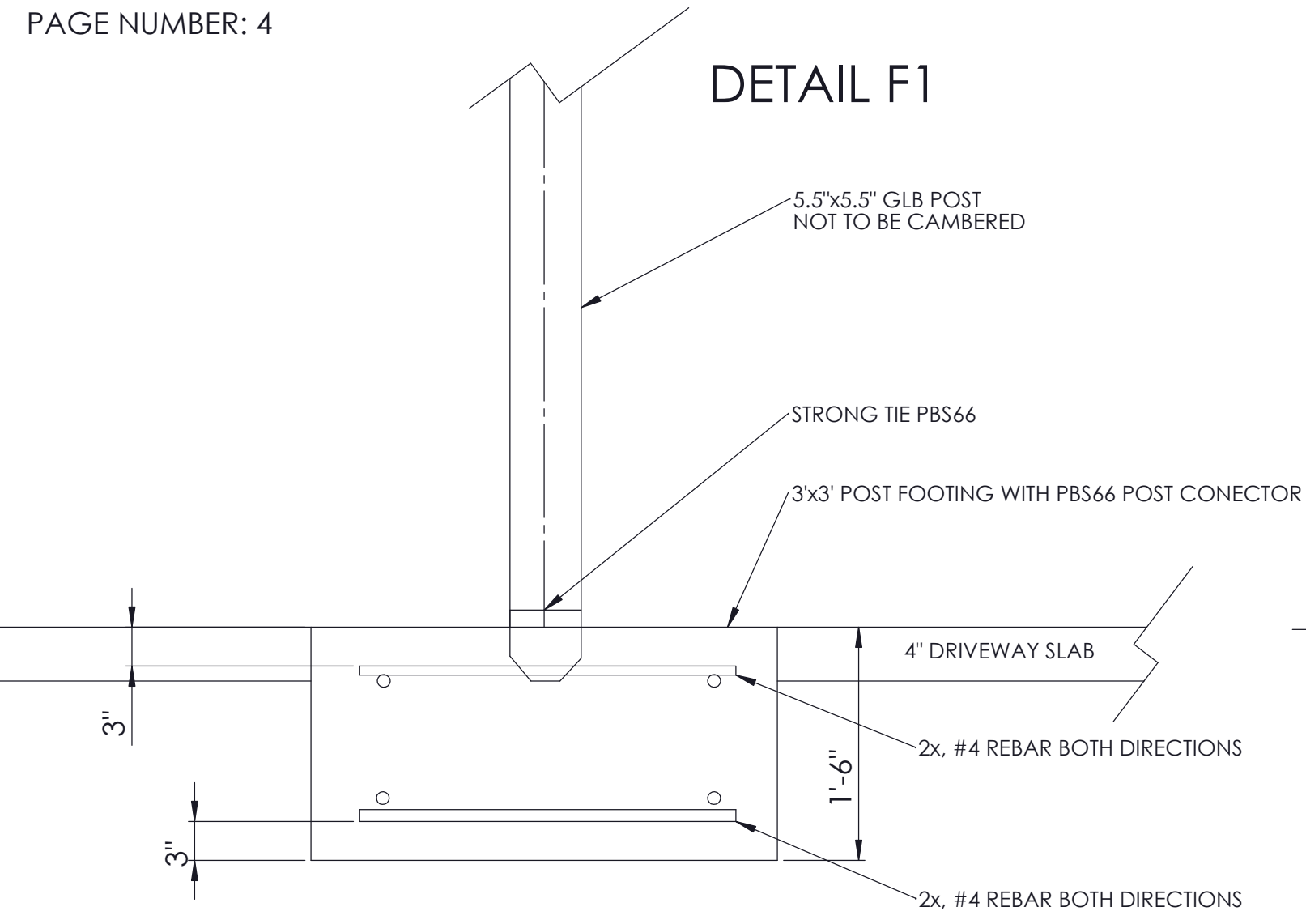
SECTION B

PROPOSED GARAGE DOOR FRAME IN SW DETAIL

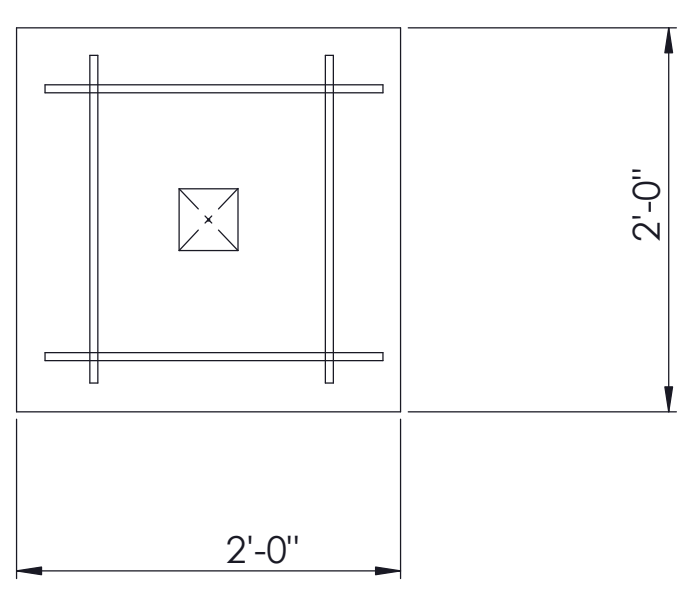
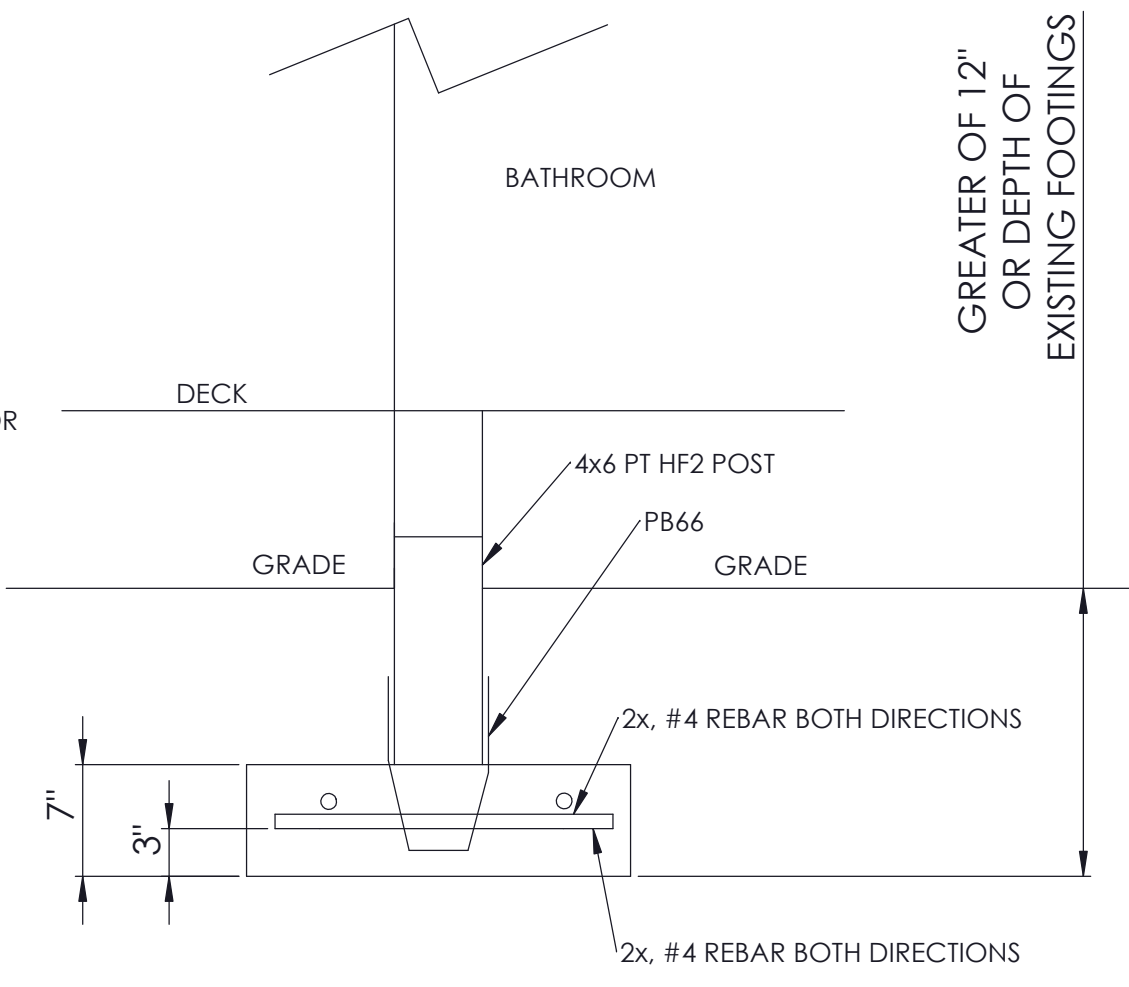
PROPOSED FOOTING DETAILS

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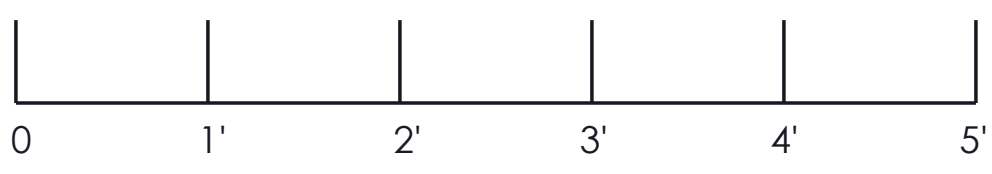
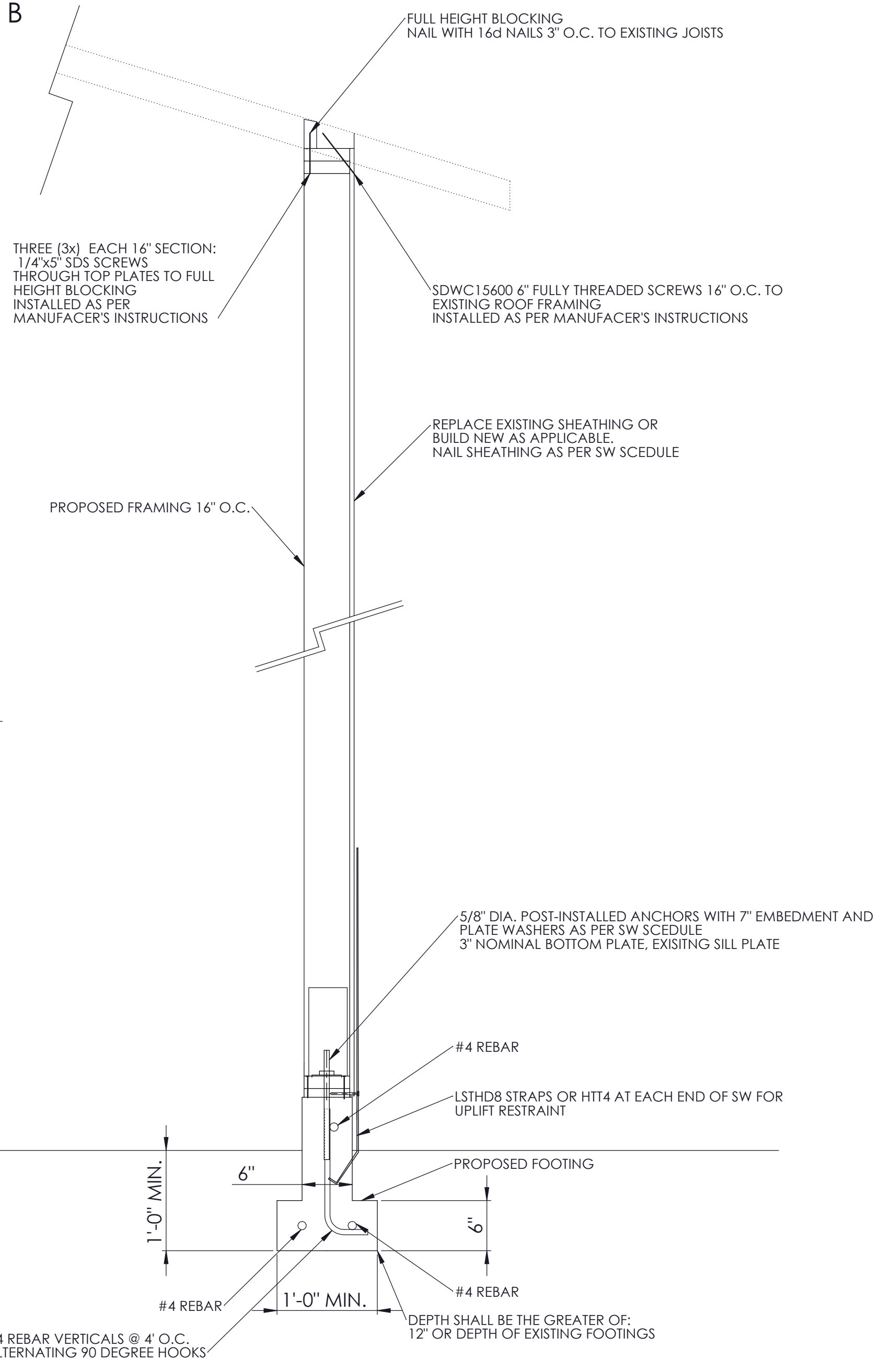
DETAIL F1



DETAIL F2



GREATER OF 12\"/>

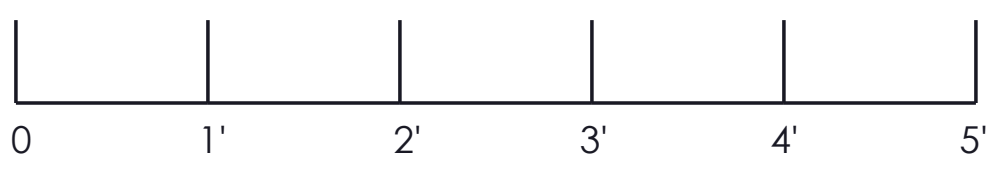
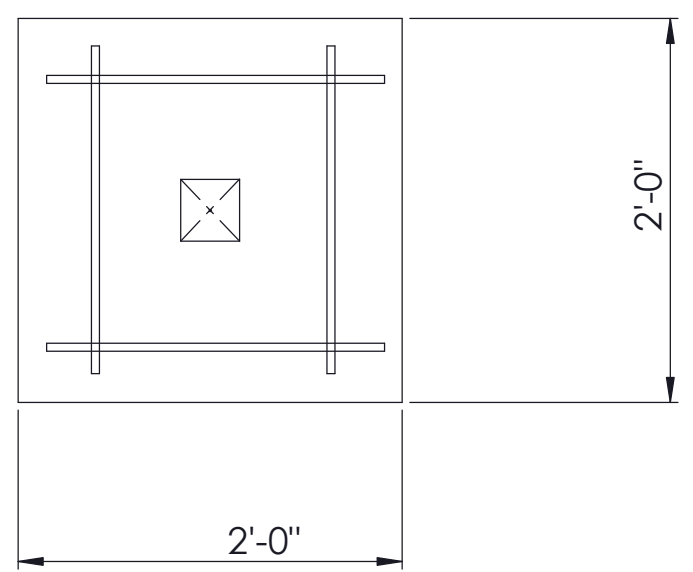
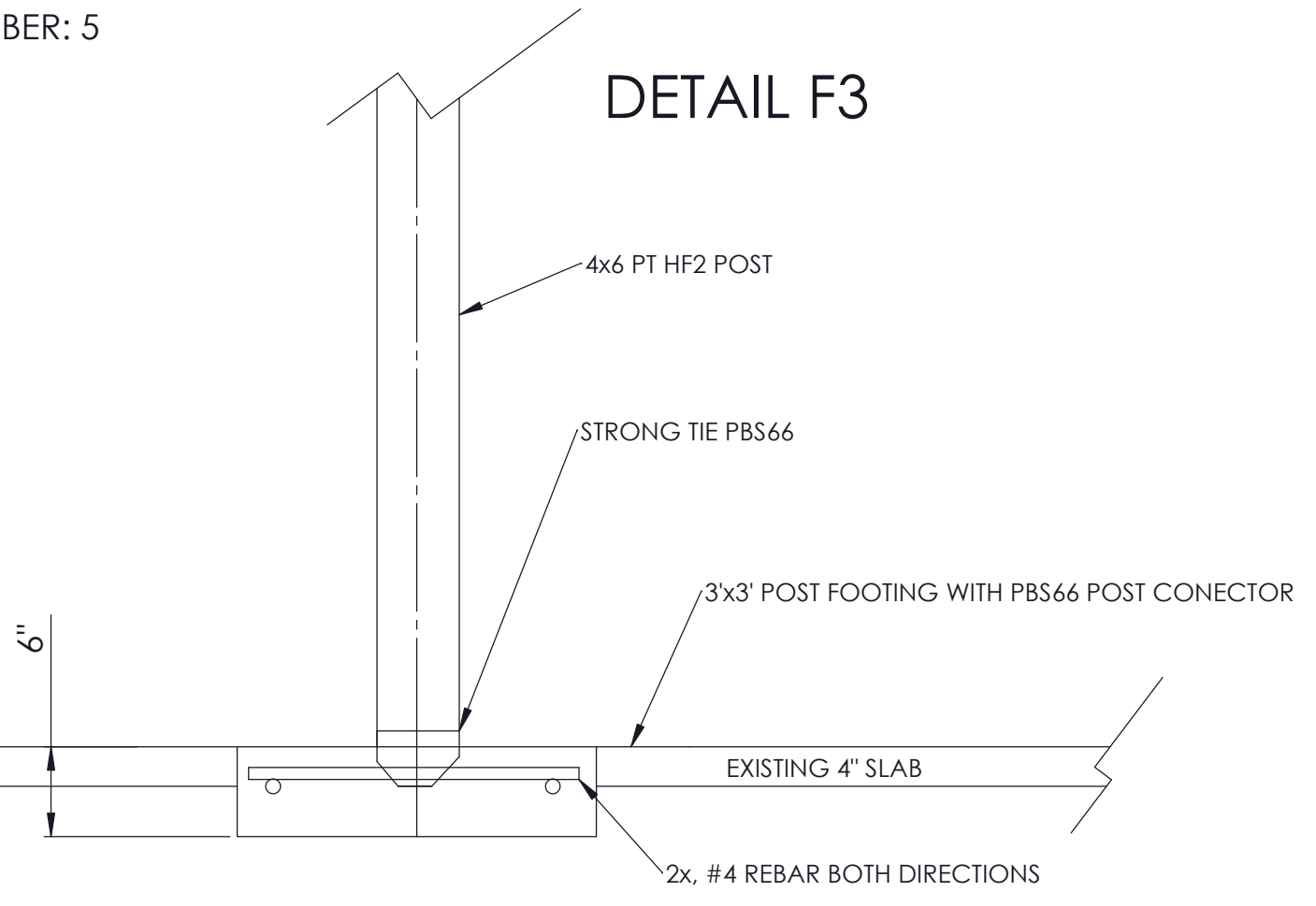


SCALE: 1" = 1'

FLOOR FRAMING DETAIL



DETAIL F3



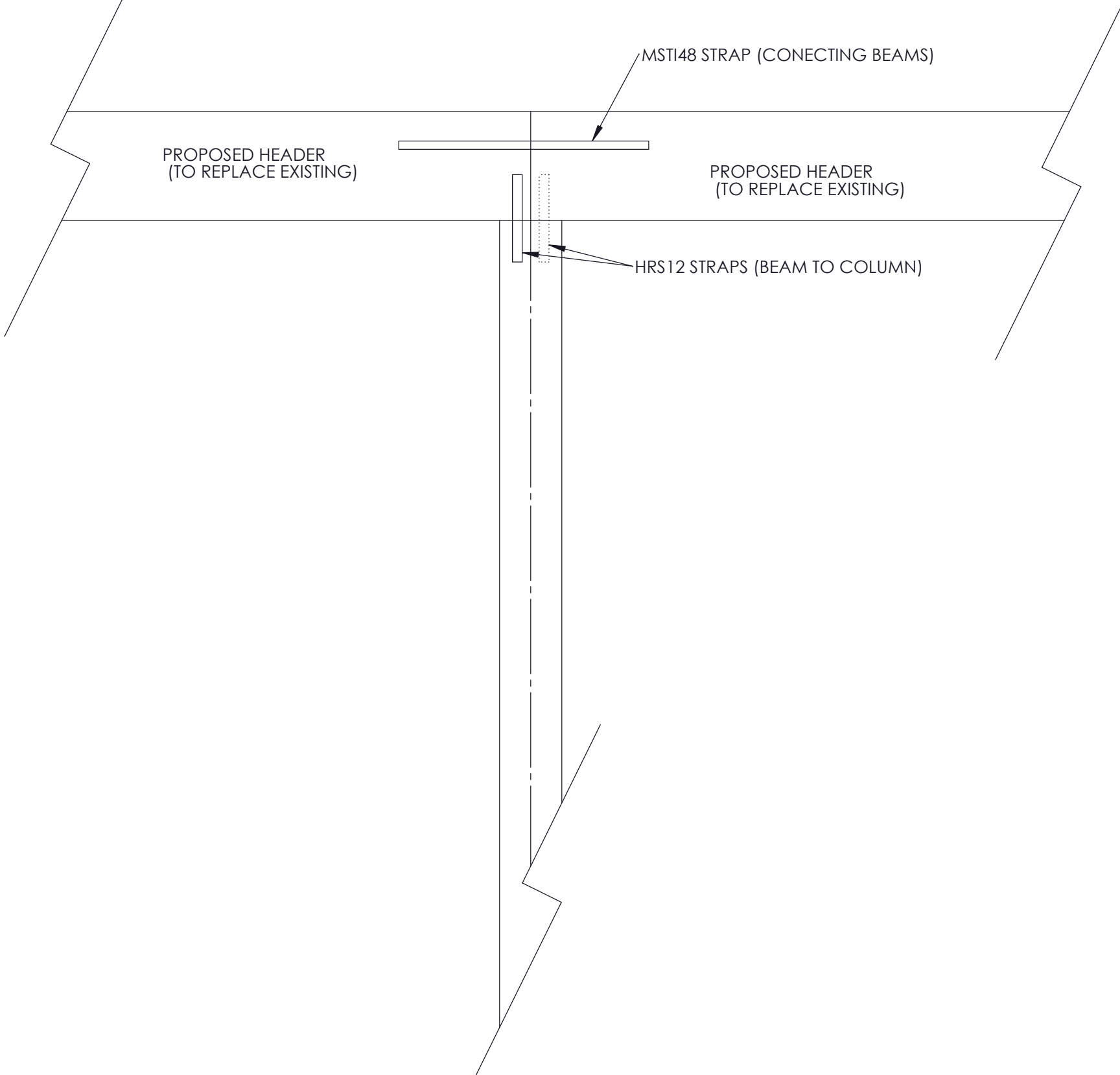
SCALE: 1" = 1'



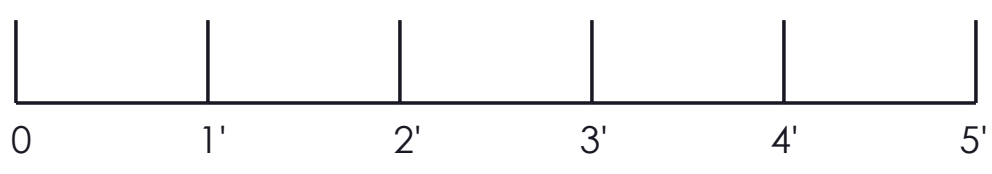
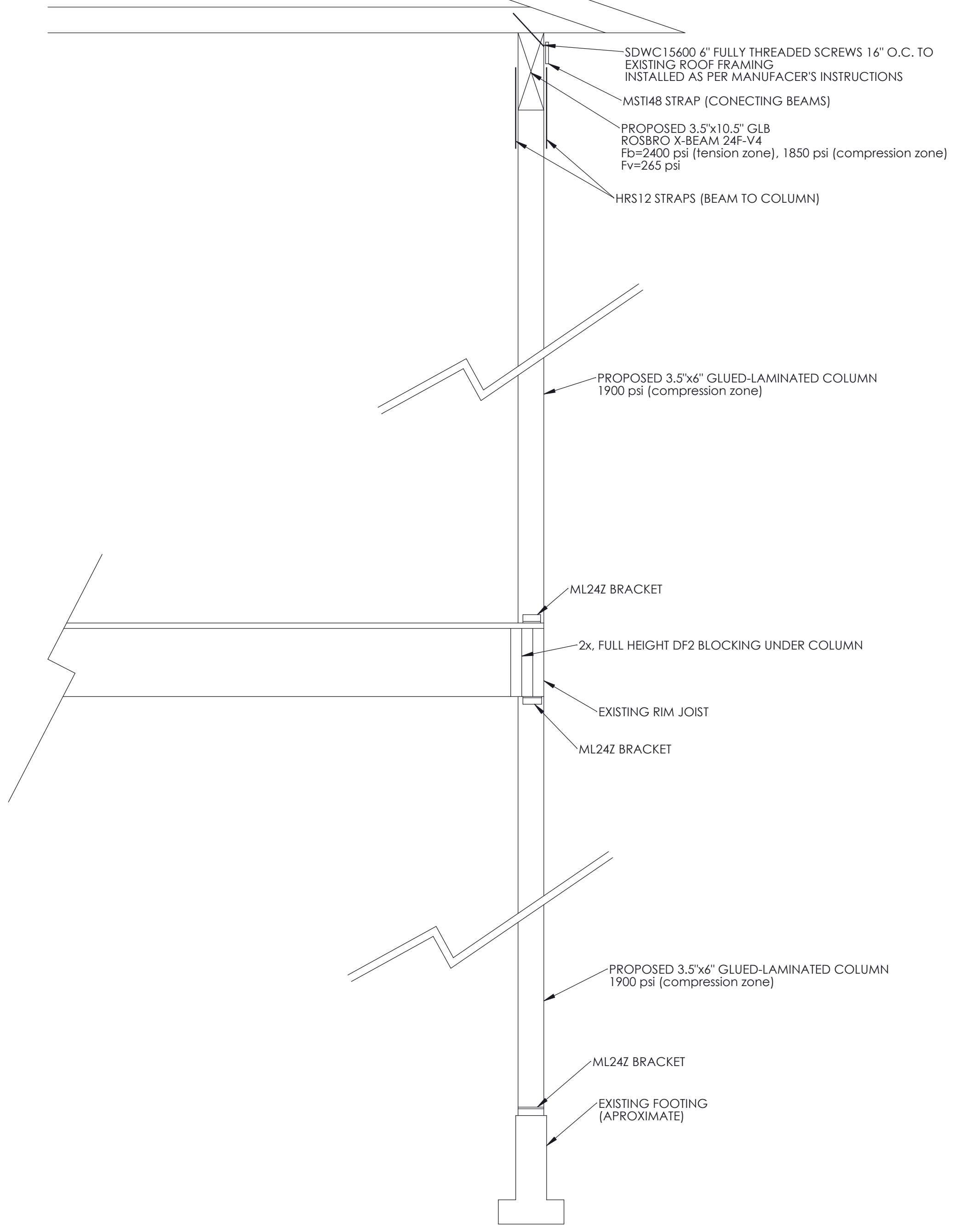
HEADER DETAIL

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HEADER TO COLUMN CONNECTION DETAIL B



HEADER A DETAIL SECTION A



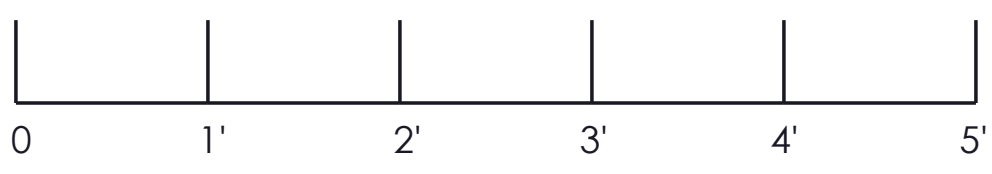
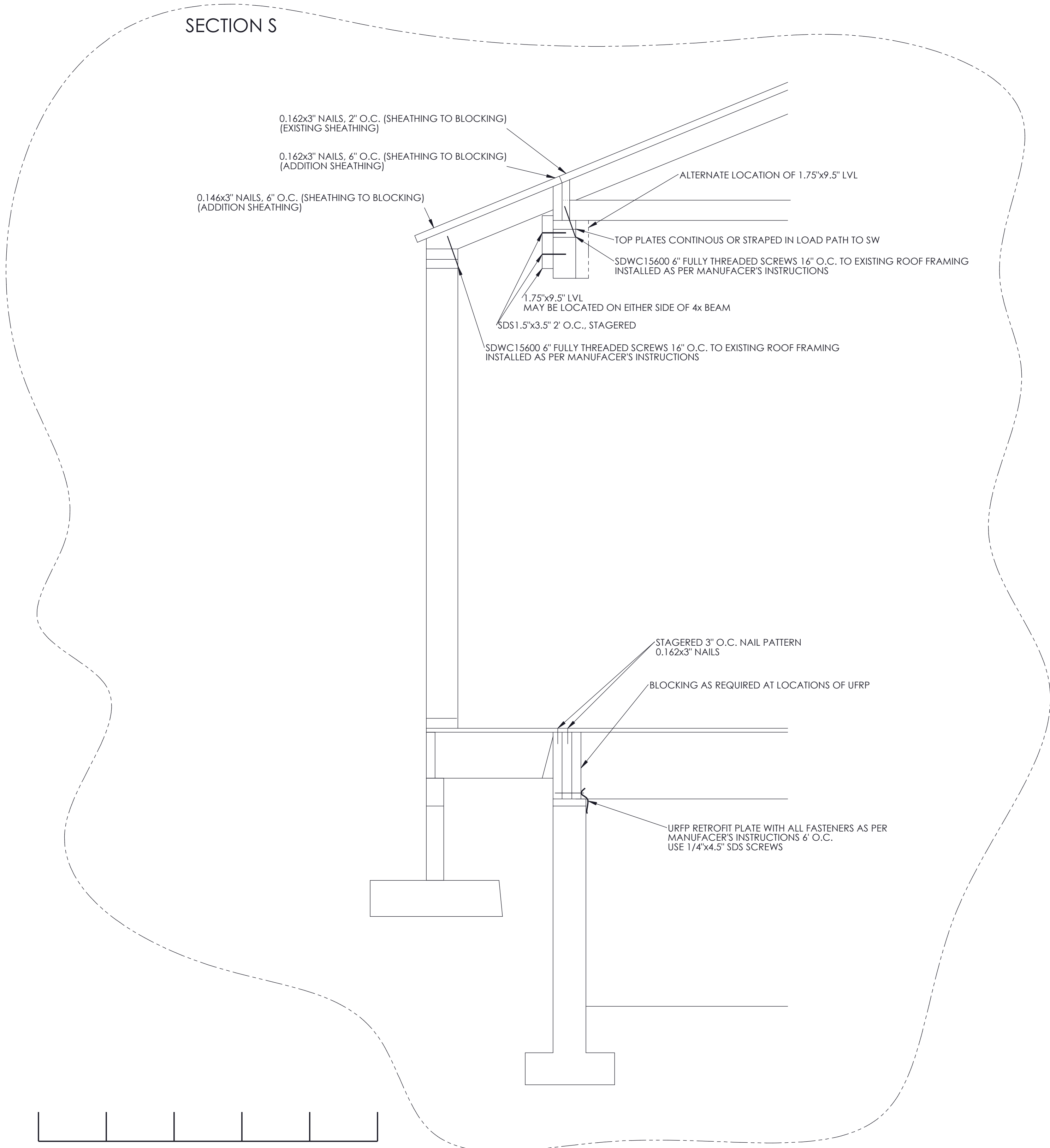
SCALE: 1" = 1'



SHEAR TRANSFER DETAIL

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SECTION S



SCALE: 1" = 1'